



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Members of the Architectural Review Board

**FROM:** Wendy Lao, Associate Planner

**MEETING DATE:** September 12, 2017

**SUBJECT:** Architectural Permit (AP) and Historic Preservation Permit (HP) and Tree Permit with Development (TPD) #17-597 to allow a two-story addition of 456.5 gross square feet at the rear of the main residence, connecting the main residence to the detached garage, to create a total of a 1,439 gross square feet two-story residence with an attached garage. To also allow pruning to an Oak tree located at the rear of the property.

**ADDRESS:** 120 19<sup>th</sup> Street (APN 006-151-009)

**ZONING/  
LAND USE:** R-3-PGR/High Density to 29.0 DU/ac

**APPLICANT:** Rick Steres, architect, on behalf of Tom & Chris Moore, owners

**CEQA:** Categorical Exemption, Section 15301(e)(1), Class 1, Existing Facilities; and Section 15331, Class 31, Historical Resources Restoration/Rehabilitation

**RECOMMENDATION**

Receive report, hold public hearing, and approve AP TPD #17-597 based on the findings and subject to the staff-recommended conditions.

**BACKGROUND**

On June 21, 2017, Rick Steres, architect, applied for an Architectural Permit and Tree Permit with Development #17-597 for a property located at 120 19<sup>th</sup> Street in Pacific Grove. The permit would allow an existing one story 982.5 square residence to be connected to the detached garage through a two-story addition of 456.5 gross square feet. This would create a total of a 1,439 gross square feet two-story single-family residence.

The Tree Permit with Development would allow pruning of a 26" diameter Oak tree, located at the rear of the property.

## DISCUSSION

### Zoning Code

The proposed development is in conformance with all requirements of the R-3-PGR zone, including but not limited to site coverage and height requirements, with the exceptions of the front yard and rear yard setback for the historic residence which are considered legal non-conforming.

The proposed project will have a building coverage of 43.8%, which is within the allowable maximum building coverage of 50%, pursuant to P.G.M.C. §23.24.010. The proposed project will have a site coverage of 43.8%, which is within the allowable maximum site coverage of 60%. The proposed project will have a gross floor area 1,439 square feet, which is within the allowable maximum gross floor area of 1,944 square feet.

The proposed addition will have a building height of 14 feet and 6 inches, which is under the allowable maximum height limit of 30 feet.

### Historic Review:

The subject residence is currently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. A Phase 2 Historic Report was completed by Elizabeth Moore on August 31, 2017. The report concluded that the proposed addition will be consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, 1995: Rehabilitation*. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource.

### Architecture Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

*Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.*

The project proposes to keep the front of the historic house and the detached garage as is, and expand in the center of the property behind the two structures, keeping with the Secretary of Interior's standards. The addition will not be prominent from the street.

### Architecture Review Guidelines for Historic Buildings:

*Guideline #2: Effects of additions on historic scale and character: additions to historic buildings should be designed to preserve, as much as possible, the scale and overall character of the original structure.*

The project proposes to place the new addition on the rear elevation so that the new work does not result in a radical change to the form and character of the historic building.

*Guideline #3: Preservation of character-defining features.*

The new addition is designed so that the remaining character-defining features of the historic building are not radically change or destroyed. The Phase 2 Historic Report determined that the proposed addition is consistent with the Secretary of Interior's standards – please see attachment for more information.

Trees and Landscaping

A Tree Report was completed by Frank Ono, ISA Certified Arborist #536, on August 23, 2017. The Tree Report determined that the proposed project does not seek to remove a 26" diameter Oak tree, and that pruning may be allowed. The arborist determined that the subject oak tree is expected to survive if properly protected and monitored.

The project proposal appears to adhere to the following Architectural Review Guidelines regarding trees:

*Guideline #21: The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.*

The project proposes to maintain the 26" Oak tree with some pruning, and build the addition around it.

*Guideline #22: Protect root systems of significant trees.*

The project proposes to build more than 5 feet away from the tree, and the permit conditions of approval include tree protection measures from construction impacts.

Environmental Determination:

The project seeks to construct a 456.5 gross square feet addition at the rear of the historic residence, creating a total of a 1,439 gross square feet two-story residence. The project qualifies for a Class 1 and Class 3 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities and Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

**ATTACHMENTS**

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Phase 2 Historic Report
- E. Arborist Report
- F. CEQA Documentation
- G. Project Plans

RESPECTFULLY SUBMITTED:

*Wendy Lao*

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Wendy Lao, Associate Planner

## Permit Application

AP 17-597

6/21/17

3961.80

<b>APPLICANT/OWNER:</b>	<b>Project Address:</b> <u>120 19th Street</u>		<b>APN:</b> <u>006-151-009</u>
	<b>Project Description:</b> <u>511 s.f. Addition incl. master bedroom &amp; bath &amp; expanded kitchen</u>		
	<b>Tree Work?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
	<b>Applicant</b>		<b>Owner</b>
	Name: <u>Rick Steres</u>	Name: <u>Tom &amp; Chris Moore</u>	
	Phone: <u>646-1131</u>	Phone: <u>408-410-2003</u>	
	Email: <u>ricksstere@watermail.com</u>	Email: <u>tmoore@bvlr.com</u>	
	Mailing Address: <u>227 Grand Ave. Suite 6</u> <u>Pacific Grove CA 93950</u>	Mailing Address: <u>340 Twin Pines Drive</u> <u>Scotts Valley CA 95066</u>	
<b>PLANNING STAFF USE ONLY:</b>	<b>Permit Request:</b>		
	<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LM: Lot Merger
	<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening
	<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation
	<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> A: Appeal
	<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> TPD: Tree Permit W/ Dev't
	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> MMP: Mitigation Monitoring
	<input type="checkbox"/> Stormwater Permit	<input type="checkbox"/> Other: _____	
	<b>CEQA Determination:</b>		
	<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> HRC
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> PC	
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> CC	
	<input checked="" type="checkbox"/> XARB	<input type="checkbox"/> _____	
<b>Active Permits:</b>			
<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Active Code Violation	
Permit #: _____			
<b>Overlay Zones:</b>			
<input type="checkbox"/> Butterfly Zone	<input checked="" type="checkbox"/> Coastal Zone	<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)	
<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)			
<b>Property Information</b>			
Lot: <u>28' of Lot 9</u>	Block: <u>56</u>	Tract: <u>Retreat</u>	
ZC: <u>R-3-PGR</u>	GP: _____	Lot Size: <u>2613 s.f.</u>	
<input checked="" type="checkbox"/> Historic Resources Inventory <input type="checkbox"/> Archaeologically Sensitive Area			
<b>Staff Use Only:</b>			
Received by: <u>WL/DG</u>	JUN 21 2017	\$ PAID 3,961.80 6-21-17	
Assigned to: <u>WL</u>	CITY OF PACIFIC GROVE		

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Date: 5-29-2017

Date: 6/21/17

Updated: 04/20/2017



## PROJECT DATA SHEET

Project Address: 120 19<sup>th</sup> Street

Submittal Date:

6-6-2017

Applicant(s): Rick Steres

Permit Type(s) &amp; No(s):

AP 17-597

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	P-3-PGR	R-1-PGR		
Building Site Area	2,613 sq.ft.	2,613 sf	same	legal non-conforming
Density (multi-family projects only)				
Building Coverage	50%	39.5%	43.8%	
Site Coverage	60%	40.5%	43.8%	
Gross Floor Area	1,944 1722	982.5	1439	
Square Footage not counted towards Gross Floor Area		0	0	
Impervious Surface Area Created and/or Replaced			60	26.2 l.f. existing walls To be demolished
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	189 l.f.	13.85%	
Exterior Lateral Wall Length to be built	—	—	69.5 L.F.	25.8 l.f. Flr. 1 85.8 l.f. Flr. 2
Building Height	30'	12'-10'	14'-6"	top plate 24' max
Number of stories	2	1	2	
Front Setback	8'	6'	6'	50% of bldg can have 4' setback
<del>North</del> Side Setback (specify side)	3'	3'	3'	
<del>South</del> Side Setback (specify side)	3'	3'	3'	
Rear Setback	12'	5'	5'	
Garage Door Setback	20'	5'	5'	legal non-conforming
Covered Parking Spaces	0	1	1	
Uncovered Parking Spaces	0	0	0	
Parking Space Size (Interior measurement)	9' x 20'	10' x 22'	10' x 22'	
Number of Driveways	0	1	1	
Driveway Width(s)	9' 24'	11'	11'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	1'	1'	
Distances Between Eaves & Property Lines	3' minimum	2'	2'	
Open Porch/Deck Projections		0	0	
Architectural Feature Projections		0	0	
Number & Category of Accessory Buildings		1	0	
Accessory Building Setbacks		3'	0	
Distance between Buildings	10'	10'	0	
Accessory Building Heights	15'	9'	0	
Fence Heights	6'	3'-6"	3'-6"	



## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

### ARCHITECTURAL PERMIT & HISTORIC PRESERVATION PERMIT & TREE PERMIT WITH DEVELOPMENT #17-597

**FOR A PROPERTY LOCATED AT 120 19<sup>th</sup> STREET TO ALLOW A TWO-STORY ADDITION OF 456.5 GROSS SQUARE FEET AT THE REAR OF THE MAIN RESIDENCE, CONNECTING THE MAIN RESIDENCE TO THE DETACHED GARAGE, TO CREATE A TOTAL OF A 1,439 GROSS SQUARE FEET TWO-STORY RESIDENCE WITH AN ATTACHED GARAGE. TO ALSO ALLOW PRUNING TO A 26 INCH DIAMETER OAK TREE LOCATED AT THE REAR OF THE PROPERTY.**

#### FACTS

1. The subject site is located at 120 19<sup>th</sup> Street, Pacific Grove, 93950 APN (006-151-009)
2. The subject site has a designation of High Density to 29.0 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3-PGR zoning district.
4. The subject site is 2,613 square feet interior through lot.
5. The subject site is developed with a single family dwelling with a detached garage of 982.5 square feet.
6. The subject site is located in the Coastal Zone.
7. The subject property is listed in the Area of Special Biological Significance Watershed.
8. The subject property was built in 1952, and is listed in the City's Historic Resources Inventory.
9. A Phase II Historic Report was completed by Elizabeth Moore on August 31, 2017.
10. A Tree Assessment was prepared by Frank Ono, Urban Forester, on August 23, 2017.
11. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301(e)(1), Existing Facilities, Class 1, and 15331, Historical Resource Restoration/Rehabilitation, Class 31.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-3-PGR zoning district including setbacks and height requirements, with the exception of the legal non-conforming front and rear yard setbacks, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 28, 31, and 22, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.
5. The exterior alteration of the structure on the Historic Resources Inventory is consistent with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as determined by the Phase II Historic Report, and;
6. The exterior alteration of any structure on the Historic Resources Inventory complies with Appendices I through IV of the Pacific Grove Architectural Review guidelines, and;

7. The Tree Report determined that the proposed project does not seek to remove a 26" diameter Oak tree, and that pruning of the tree's crown may be allowed, and that the subject oak tree is expected to survive if properly protected and monitored.

## PERMIT

AP HPP TPD #17-597 allow:

A two-story addition of 456.5 gross square feet at the rear of the main residence, connecting the main residence to the detached garage, to create a total of a 1,439 gross square feet two-story residence with an attached garage. To also allow pruning to an Oak tree located at the rear of the property.

## CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for "Moore Residence" dated June 21, 2017, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
  - a. Prior to the commencement of construction activities:
    - i. Trees located adjacent to construction areas shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
    - ii. Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
    - iii. Fencing must not be to be attached to the tree. It shall be free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade.

- iv. Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- v. Fenced areas and the trunk protection materials must remain in place during the entire construction period.
- b. During grading and excavation activities:
  - i. All trenching, grading or any other digging or soil removal that is expected to encounter tree roots will be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
  - ii. The project arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
  - iii. Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
  - iv. Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
  - v. Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.
- c. If at any time potentially significant roots are discovered:
  - i. The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
  - ii. If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc.

## 7. **Tree Best Management Practices**

The following best management practices must be adhered to:

- a. Tree service contractors will verify animal or bird nesting prior to tree work. If nesting activity of migratory birds are found, work must stop and a wildlife biologist consulted before commencing work (the typical bird nesting season ranges from February 22 to August 1).
- b. Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak rot fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- c. Pruning shall be conducted so as not to unnecessarily injure the tree. General-Principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.

- d. Native live trees are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- e. Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- f. Tree material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood must be covered with thick clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- g. A mulch layer up to approximately 4 inches deep should be applied to the ground under selected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- h. If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

- 8. **Curbs and sidewalks.** Install curbs and sidewalks along all public street frontages.
- 9. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees.
- 10. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
- 11. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.
- 12. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

- 1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- 2. The Board authorizes Approval of AP 17-597 to a two-story addition of 456.5 gross square feet at the rear of the main residence, connecting the main residence to the detached garage, to create a total of a 1,439 gross square feet two-story residence with an attached garage, and to also allow pruning to an Oak tree located at the rear of the property.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

**Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 12th day of September, 2017, by the following vote:**

AYES: **XXX**

NOES:           XXX

ABSENT:       XXX

APPROVED:

\_\_\_\_\_  
Jeff Edmonds, Vice-Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Tom & Chris Moore

\_\_\_\_\_  
Date

E L I Z A B E T H M O O R E A R C H I T E C T  
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## PHASE II HISTORIC ASSESSMENT

### NAME AND ADDRESS OF THE PROPERTY

MOORE RESIDENCE - BUILT IN 1952  
120 19th Street  
Pacific Grove, CA 93950

### APPLICANT

Rick Steres, Architect  
230 Fountain Avenue, Suite 6  
Pacific Grove CA 93950

### OWNER

Thomas and Chris Moore  
340 Twin Pines Drive  
Scotts Valley CA 95066

August 31, 2017





## **PHASE II HISTORIC ASSESSMENT**

MOORE RESIDENCE - BUILT IN 1952

120 19th Street, Pacific Grove CA 93950

### **INTRODUCTION**

The following Phase II Historic Assessment for the residential property located at 120 19<sup>th</sup> Street (APN 006-151-009-000), in Pacific Grove, has been prepared as required by the City of Pacific Grove and the California Environmental Quality Act (CEQA).

### **PHASE II HISTORIC ASSESSMENT**

The following is an analysis of the proposed alterations to the historically significant structure at 120 19th Street, Pacific Grove CA, for the purpose of evaluating of their compliance with the Secretary of the Interiors Standards for the Treatment of Historic Properties, 1995: Rehabilitation.

An addition has been designed for the subject property by Rick Steres Architect. It appears to be sensitive to the existing historic material, the character of the house and neighborhood, and in keeping with the Secretary of the Interior's Standards for Treatment of Historic Properties.

This proposed project includes construction only at the rear of the property: rebuilding of the existing garage, infill connecting the house and garage and addition of living space above, the second story set back from the existing Caledonia Street elevation. To achieve this, it is proposed that the exterior walls of the existing garage will be carefully removed and stored, the floor lowered, new code-worthy framing constructed and the historic exterior walls re-attached. A low profile second story addition will be constructed above. Massing, forms and details of the new building element are proposed to be similar to, but differentiated from the existing building. The floor at the remodel/addition will be lowered to reduce slope of the very steep driveway, to reduce the visible building mass and height and to respect the canopy of an adjacent large coast live oak.

Fenestration at the addition will be of similar style, scale and materials to that of the existing house, referencing styles, sizes, grouping and details from the original, but differentiated to visually identify the new portion of the building. A new wood garage door is proposed.

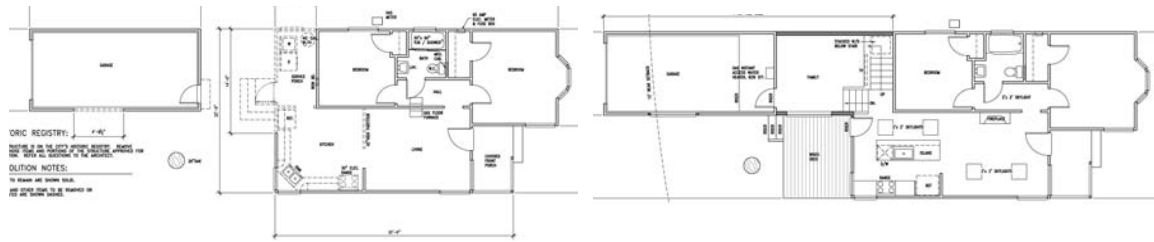
The historic house has shiplap siding. The style of the new construction as proposed, is similar to but differentiated from that of the historic house. Wood siding on the addition references the horizontal nature of the historic shiplap siding, horizontal wood siding of a different board width is proposed on the new building elements.



**EAST ELEVATION - 19th STREET**



**WEST ELEVATION – CALADONIA STREET**



## EXISTING GROUND FLOOR PLAN

**PROPOSED**



**PROPOSED**

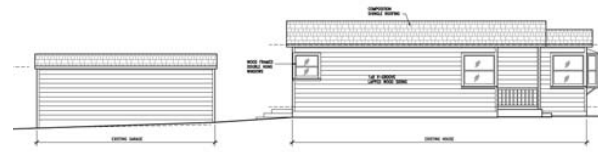
## SECOND FLOOR PLAN



**EXISTING**



**PROPOSED**  
**WEST ELEVATION**



**EXISTING**



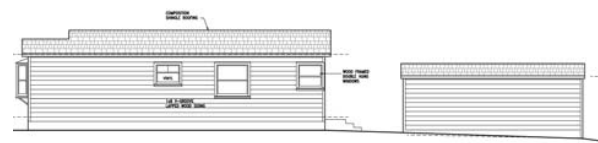
**PROPOSED**  
**SOUTH ELEVATION**



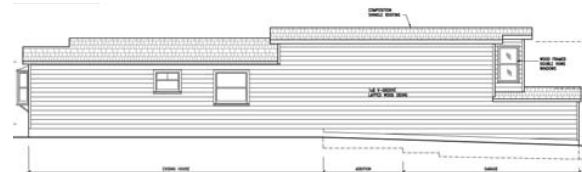
**EXISTING**



**PROPOSED**  
**EAST ELEVATION**



## EXISTING



**PROPOSED**  
**NORTH ELEVATION**

**Evaluation per The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995:**

**REHABILITATION**

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

**Yes. The property will continue to be used as a single family residence. Changes are proposed to the footprint to make it more suitable for a modern lifestyle. Distinctive materials, features, spaces and spatial relationships will be unaltered or minimally changed.**

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

**Yes. The historic character and spatial relationships will be preserved. Proposed additions are outside of the footprint of the existing house, to the rear of the building. The height of the new two story element will be kept low to be respectful of the scale of house and neighborhood, and a large oak tree. The floor of the addition will be at a lower elevation than the original house, and the roof height well below the allowable height limit.**

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

**Yes. Proposed material and detail are different than, but complimentary to the historic portion of the house. The new references the historic forms and materials of the neighborhood as a whole, and appear consistent with the period of significance of the house and its historic context.**

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

**Yes. All historic portions of the building will be treated equally.**

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Yes. Distinctive elements characterizing the property and visible from public areas will be preserved.**

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**Yes, historic materials will be undertaken with care.**

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

**Not applicable to this project.**

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Yes. Proposed work will preserve historic materials and features of the property, and will be differentiated from and compatible with the historic, to protect the integrity of property and environs.**

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

**Yes. The proposed addition will be outside of the historic footprint. The exterior walls of the garage will be removed intact and reused, new construction will be attached to the rear of existing cottage. The second story addition will be over the rebuilt garage. The fabric, essence and integrity of the house will remain.**

## **SUMMARY**

The proposed plan for the historic property at 120 19th Street in Pacific Grove, including a two storey addition, to the rear and side of the historic house, all consistent with the existing when evaluated per The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995, Rehabilitation section, is consistent with applicable criteria # 1, 2, 3, 4, 5, 6, 7, 9, & 10, # 8 is not applicable to this project.

Respectfully Submitted,

A handwritten signature in dark ink, appearing to read 'Elizabeth Moore', written in a cursive style.

Elizabeth Moore





Location Map



Vicinity Map



**NEIGHBORHOOD CONTEXT WITH SUBJECT HOUSE**

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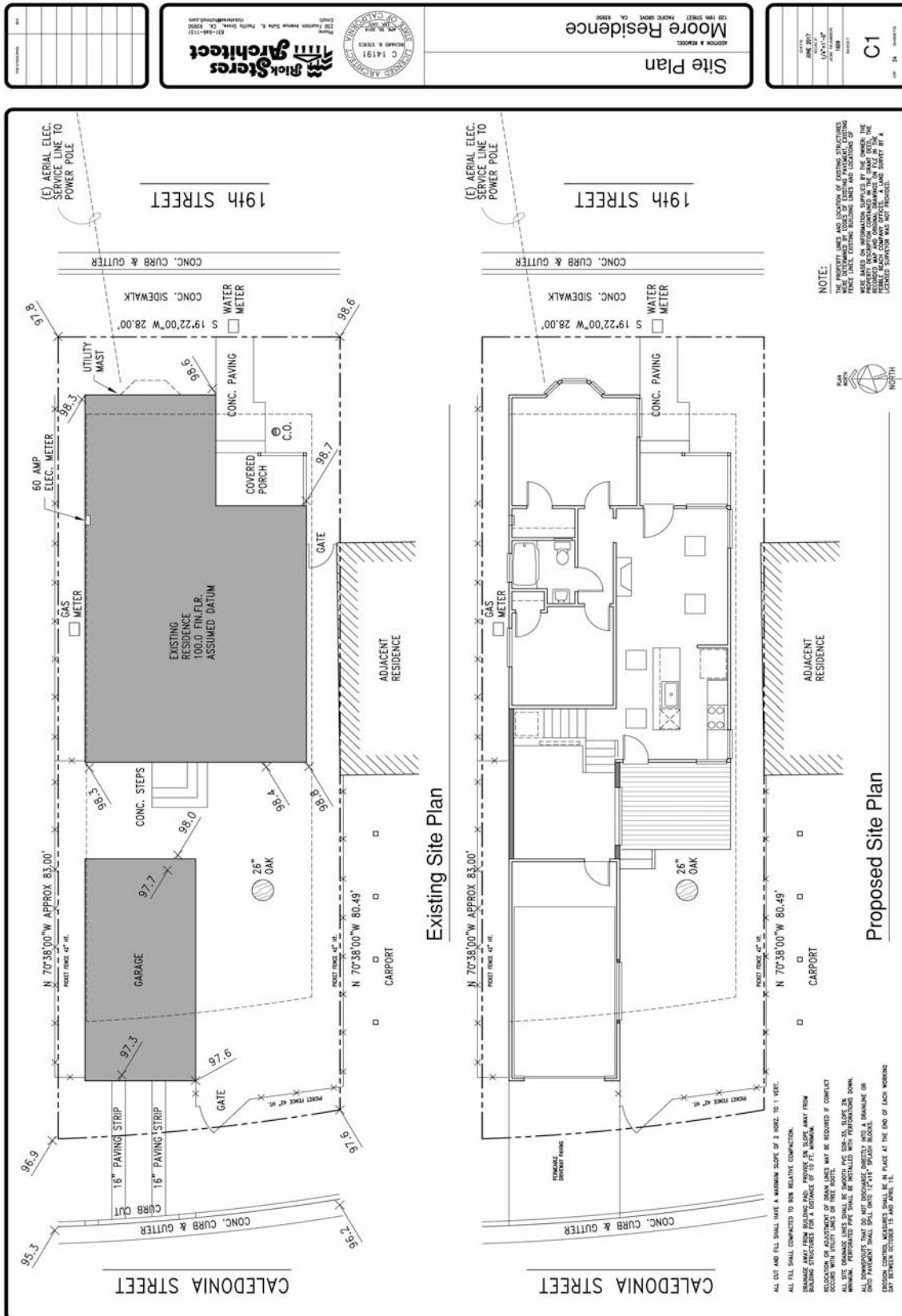








## ARCHITECTURAL DRAWINGS



120 18th STREET, PACIFIC GROVE, CA 93926

**Moore Residence**

ARCHITECTS & DESIGNERS

120 18th STREET, PACIFIC GROVE, CA 93926

**Moore Residence**

ARCHITECTS & DESIGNERS

120 18th STREET, PACIFIC GROVE, CA 93926

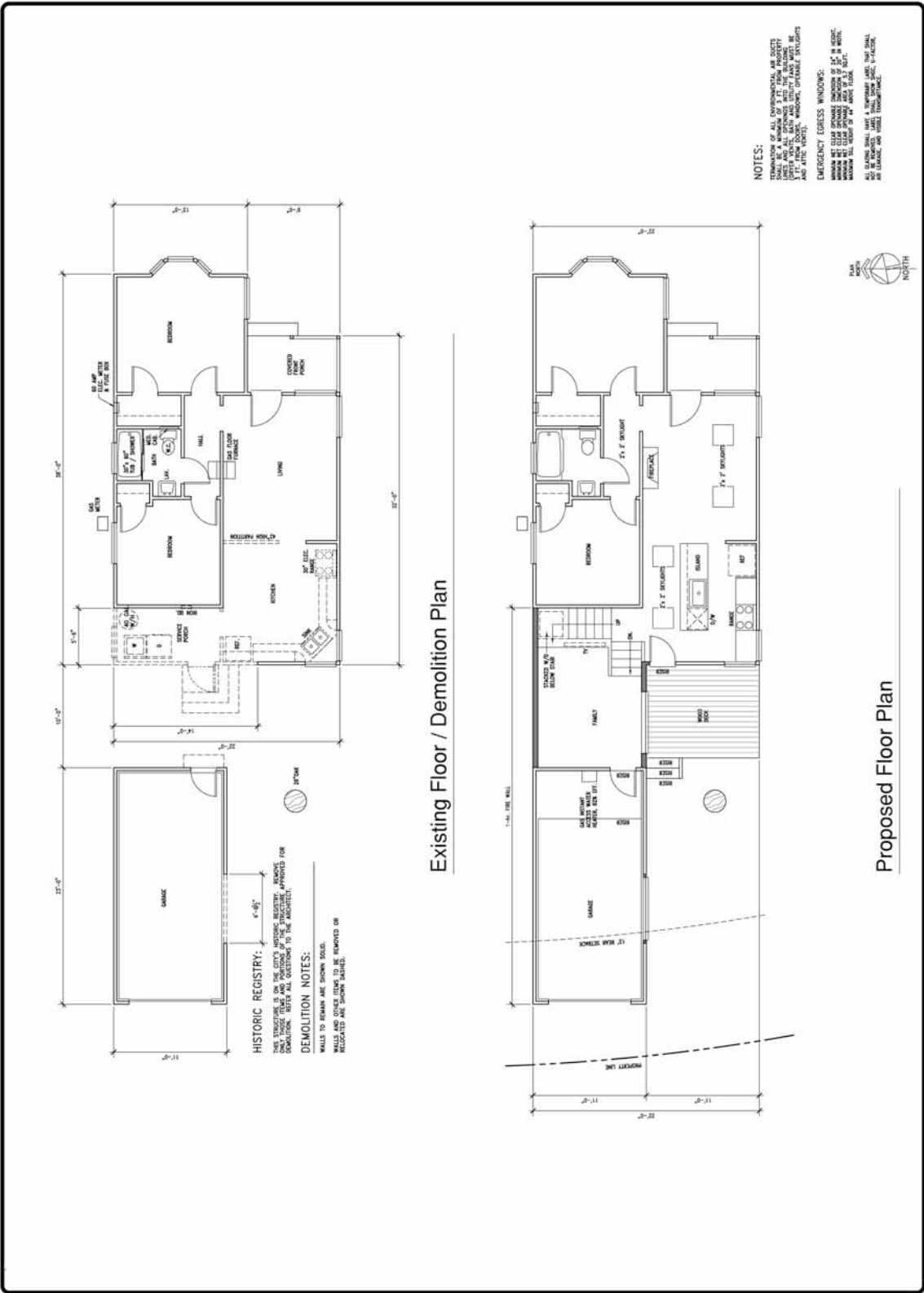
**Moore Residence**

ARCHITECTS & DESIGNERS

120 18th STREET, PACIFIC GROVE, CA 93926

**Moore Residence**

ARCHITECTS & DESIGNERS



120 18th STREET, PACIFIC GROVE, CA 93926

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120 18th STREET, PACIFIC GROVE, CA 93926

**Moore Residence**

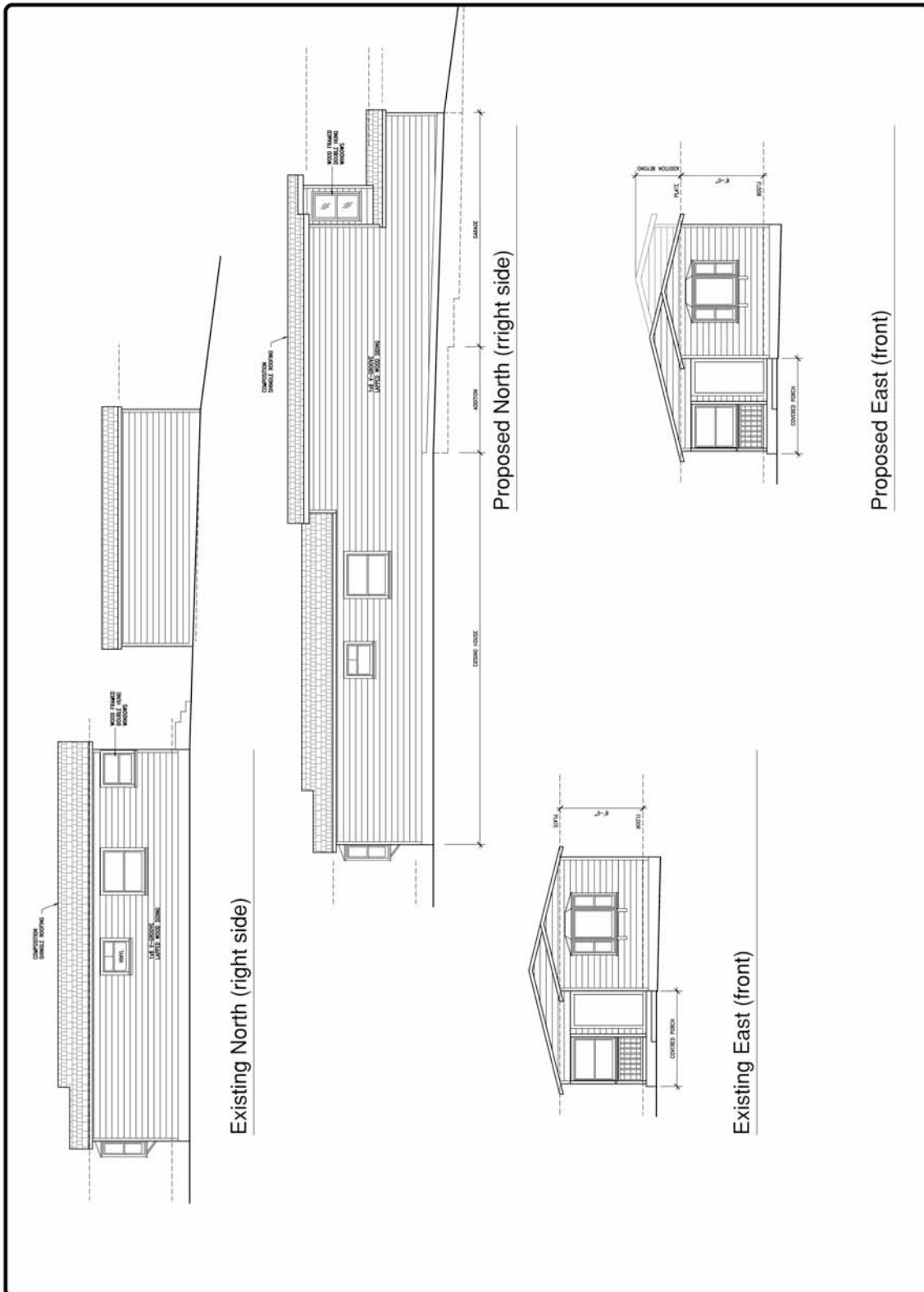
ARCHITECTS & DESIGNERS

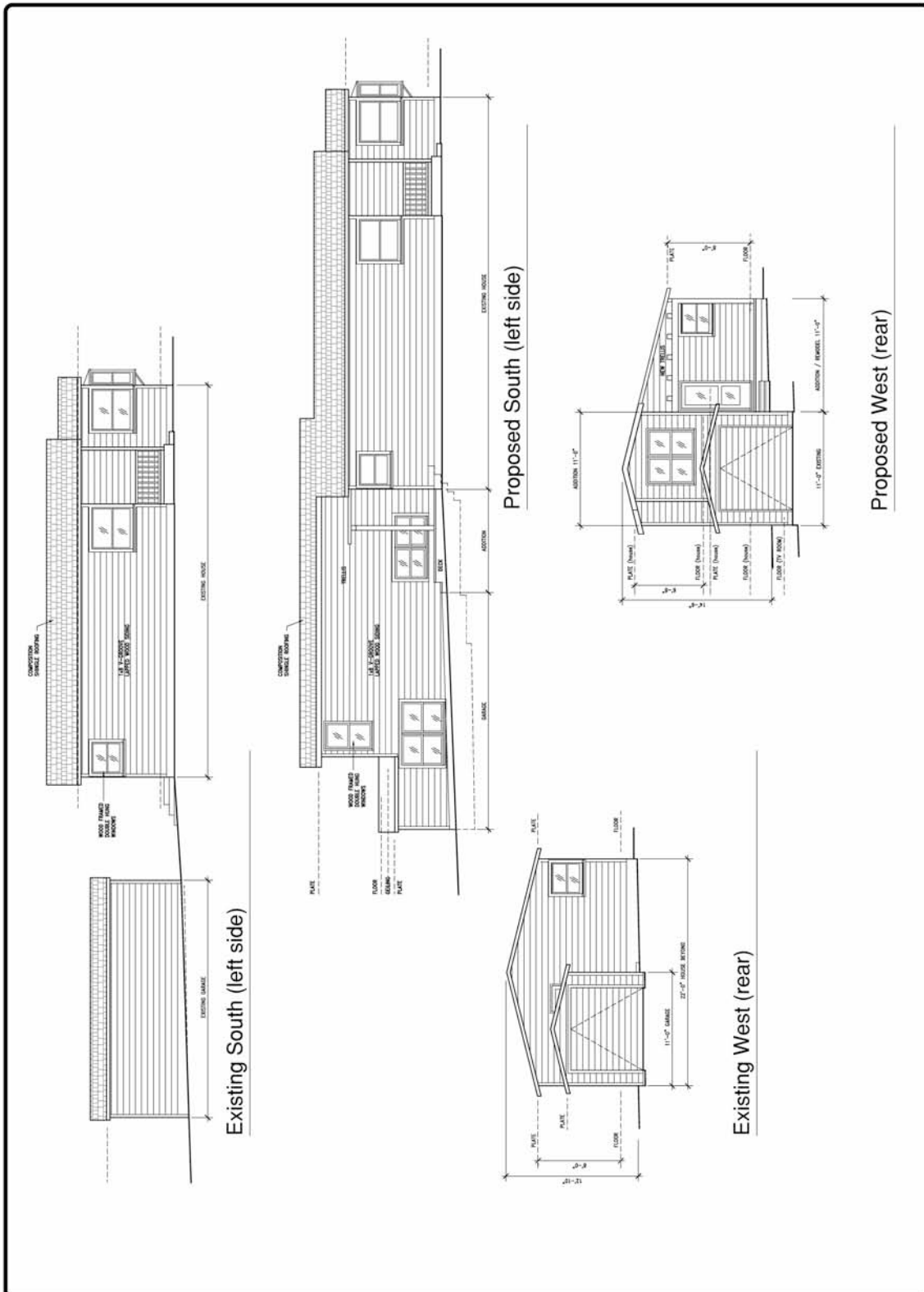
120 18th STREET, PACIFIC GROVE, CA 93926

**Moore Residence**

ARCHITECTS & DESIGNERS







[illegible]

Tree Assessment  
120 19<sup>th</sup> Street  
Pacific Grove, CA

Prepared for:

Tom and Chris Moore

Prepared by:

Frank Ono  
Urban Forester  
Member Society of American Foresters #48004  
ISA Certified Arborist #536  
1213 Miles Avenue  
Pacific Grove, CA 93950

August 23, 2017

Owner:

Tom and Chris Moore  
340 Twin Pines Drive  
Scotts Valley, CA 95066

Architect:

Rick Steres, Architect  
227 Grand Avenue  
Pacific Grove, CA 93950

Forester and Arborist

Frank Ono, Member SAF #48004, ISA Certified Arborist #536  
F.O. Consulting  
1213 Miles Ave  
Pacific Grove, CA 93950

## **SUMMARY**

Development on an existing structure is proposed for this site near an established mature oak tree on site. The tree is considered to be in fair or better condition both structurally and in health. Excavation and hardscape removal will be performed near for the foundation of the proposed building. The project does not require removal of tree and makes the greatest attempt to keep any required pruning to the minimum. A tree assessment/arborist report has been prepared to identify and address affects that the project may have to the existing tree resources on site as list recommendations regarding the tree on the project.

## **INTRODUCTION**

This tree assessment/arborist report is prepared for Tom and Chris Moore, the owners of the property located at 120 19<sup>th</sup> Street, Pacific Grove, CA by Frank Ono, Urban Forester and Certified Arborist (member Society of American Foresters #48004 and International Society of Arboriculture Certified Arborist #536) due to the proposed construction. The City of Pacific Grove Land Use Plan and City Zoning Ordinances identify native Coast live oak trees as a species requiring protection and special consideration for management.



## ASSIGNMENT/SCOPE OF PROJECT

To ensure protection of the tree resources on site, the property owner, Tom and Chris Moore, have requested an assessment of an Oak tree in proximity to proposed development areas. The findings of the report are to be documented in an arborist report to work in conjunction with other conditions for approval of the building permit application. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure and preservation suitability for each tree within or adjacent (15 feet or less) to proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Rick Steres, Architect.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to a Tree Location/Preservation Map.
- Determine the quantity of trees affected by construction as defined by the City of Pacific Grove Zoning Ordinance; as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the City of Pacific Grove Planning Department.

## LIMITATIONS

This assignment is limited to the review of plans submitted to me dated August 2017 by Rick Steres, Architect, to assess affects from potential construction to trees within or adjacent to construction activities. The assessment has been made of these plans specifically and no other plans were reviewed. Only minor grading and erosion details are discussed in this report as it relates to tree health. It is not the intent of this report to be a monetary valuation of the trees or provide risk assessment for any tree on this parcel, as any tree can fail at any time. No clinical diagnosis was performed on any pest or pathogen that may or may not be present. In addition to an inspection of the property, F.O. Consulting relied on information provided in the preparation of this report (such as, surveys, property boundaries, and property ownership) and must reasonably rely on the accuracy of the information provided. F.O. Consulting shall not be responsible for another's means, methods, techniques, schedules, sequence or' procedures, or for contractor safety or any other related programs; or for another's failure to complete the work in accordance with the plans and specifications.

## **PURPOSE AND GOAL**

This Tree Assessment/Arborist report is prepared for this parcel due to proposed construction activities located at 120 19<sup>th</sup> Street. The purpose of the assessment is to determine what, if any, of the trees will be affected by the proposed project. Oak trees and Monterey pine trees are considered protected trees as defined by the City of Pacific Grove Zoning Ordinances.

The goal of this report is to protect and maintain the Pacific Grove Urban forested resources through the adherence of development standards, which allow the protection, and maintenance of its forest resources. Furthermore it is the intended goal of this report to aid in planning to offset any potential effects of proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

## **SITE DESCRIPTION**

- 1) Assessor's Parcel Number: 006-151-009-000.
- 2) Location: 120 19<sup>th</sup> Street, Pacific Grove, CA.
- 3) Parcel size: 2,613 Square feet.
- 4) Existing Land Use: The parcel is zoned single family residential use.
- 5) Slope: The parcel is mildly sloped and less than 25%.
- 6) Soils: The parcel is located on soils classified by the Monterey County Soils report as Baywood sand soils. The report states that Baywood series consists of somewhat excessively drained soils formed in stabilized sand dunes. Slopes are 2 to 15 percent. Runoff is slow to medium, and the erosion hazard is slight to moderate. Permeability is rapid, and the available water capacity is 2.5 to 3 inches. Roots penetrate to a depth of more than 60 inches.
- 7) Vegetation: The vegetation on site is composed primarily of the Oak as the dominant tree with ornamental planting under the tree.
- 8) Urban Forest Condition and Health: The site is developed and surrounding forest canopy is fragmented and composed of mixed ornamental planted trees.

## BACKGROUND

Assessment focuses on incorporation of the preliminary location of site improvements coupled with consideration for the general goals of site improvement desired of the landowner. Proposed improvements assessed included preserving the existing tree to the greatest extent feasible, maintaining the view shed and general aesthetic quality of the area while complying with City of Pacific Grove Municipal Codes. The study of the tree determined treatments necessary to complete the project and meet the goals of the landowner. The tree is immediately adjacent proposed development area is measured, inspected, flagged and recorded. The assessment of the tree concluded with an opinion of whether the tree should be removed, or preserved, based on the extent and effect of construction activity to the short and long-term health of the tree. All meetings and field review were focused on the area immediately surrounding the proposed development.

## OBSERVATIONS/DISCUSSION

The following list includes observations made while on site, and summarizes details discussed during this stage of the planning process.

- The site is developed with an existing structure and hardscaped walking area. The existing tree is to remain.
- The tree is a 26" diameter Coast live oak (*Quercus agrifolia*) and tagged #417 appearing to be in fair or better condition. It stands approximately 40 feet tall with a crown spread the same.
- The project proposes to build a new structure under the tree where an existing garage is located. Required excavation for the structure will be in the same approximate area of the old foundation. Upon close inspection it appears construction is at a distance that encroachment into the existing root zone, if at all, will be minimal and due to the soil type not many roots will be encountered. Oak trees are listed in the by the International Society of Arboriculture development guide, Technical Guide to Preservation of Trees During Land Development, (Mattheny and Clark, 1998) as a tree which can endure root pruning. It is expected to satisfactorily survive construction excavation, provided work near the tree is monitored and the tree adequately protected.
- The tree has shown resilience to larger diameter pruning with a number of older face cuts where the branch bark ridges have successfully callused over the old wound. The structure is designed to be built higher than the existing structure, and a portion of the roof will be under a 9" diameter limb. This limb is approximately 13 up feet from grade at the edge of the existing garage and exact location at the time of this report was not known. The limb is sparsely foliated, removal of the limb would reduce less than 5% of the trees overall crown. Location of the story poles have not been installed at the time of this report which may indicate if this limb will need to be removed or if it can be retained with this design. It appears the limb needs removal for the reasons stated; its removal will not affect the tree negatively (the cut is smaller than others taken in the past) and heal successfully.

## CONCLUSION/PROJECT ASSESSMENT

This proposal to build an addition to a single-family residence and expand the driveway and garage is planned to maintain the existing urban forested environment, allowing the urban forest to continue to exist and be sustainable over time. No tree removal for this site is proposed or expected due to construction. All trees are expected to survive if properly protected and monitored. The remainder of the property contains tree cover, which will remain undisturbed. No watercourses are near the planned construction.

### Short Term Affects

Site disturbance will occur during building construction. Short term site affects are confined to the construction envelope and immediate surroundings some trees may be trimmed and root systems reduced. The pruning of tree crowns above 30% and reduction of root area may have a short term effects on those trees treated, including a reduction of growth and potential limb dieback.

### Long Term Affects

No significant long term affects to the urban forest ecosystem are anticipated as this is already a developed residential site. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long term. Whenever construction activities take place near trees, there is the potential for those trees to experience decline in the long term as well. The greatest attempt has been made to identify for removal those trees likely to experience decline.

## RECOMMENDATIONS

### Tree Pruning

It is to be understood that the pruning of retained trees is expected for this site, especially near building construction areas. Pruning will consist of crown cleaning where deadwood, minor structural defects or disease will be addressed. There is a possibility some larger limbs may need to be addressed for roof clearance which will be limited to only those required for building clearance and mandated fire safety. Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester. Remedial pruning should occur prior to construction. Following construction, any above ground tree pruning/trimming should be delayed until one year after completion of construction. Following construction, a qualified arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

## Tree Protection

Prior to the commencement of construction activities:

- Trees located adjacent to construction areas shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
- Fencing must not be attached to the tree. It shall be free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Fenced areas and the trunk protection materials must remain in place during the entire construction period.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots will be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc..

### Best Management Practices to Observe (BMP)

The following best management practices must be adhered to:

- A) Tree service contractors will verify animal or bird nesting prior to tree work. If nesting activity of migratory birds are found, work must stop and a wildlife biologist consulted before commencing work (the typical bird nesting season ranges from February 22 to August 1).
- B) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak rot fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- C) Pruning shall be conducted so as not to unnecessarily injure the tree. General-Principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- D) Native live trees are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- E) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- F) Tree material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood must be covered with thick clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- G) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- H) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Report Prepared By:



Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536

August 23, 2017

Date

**PHOTOGRAPHS**



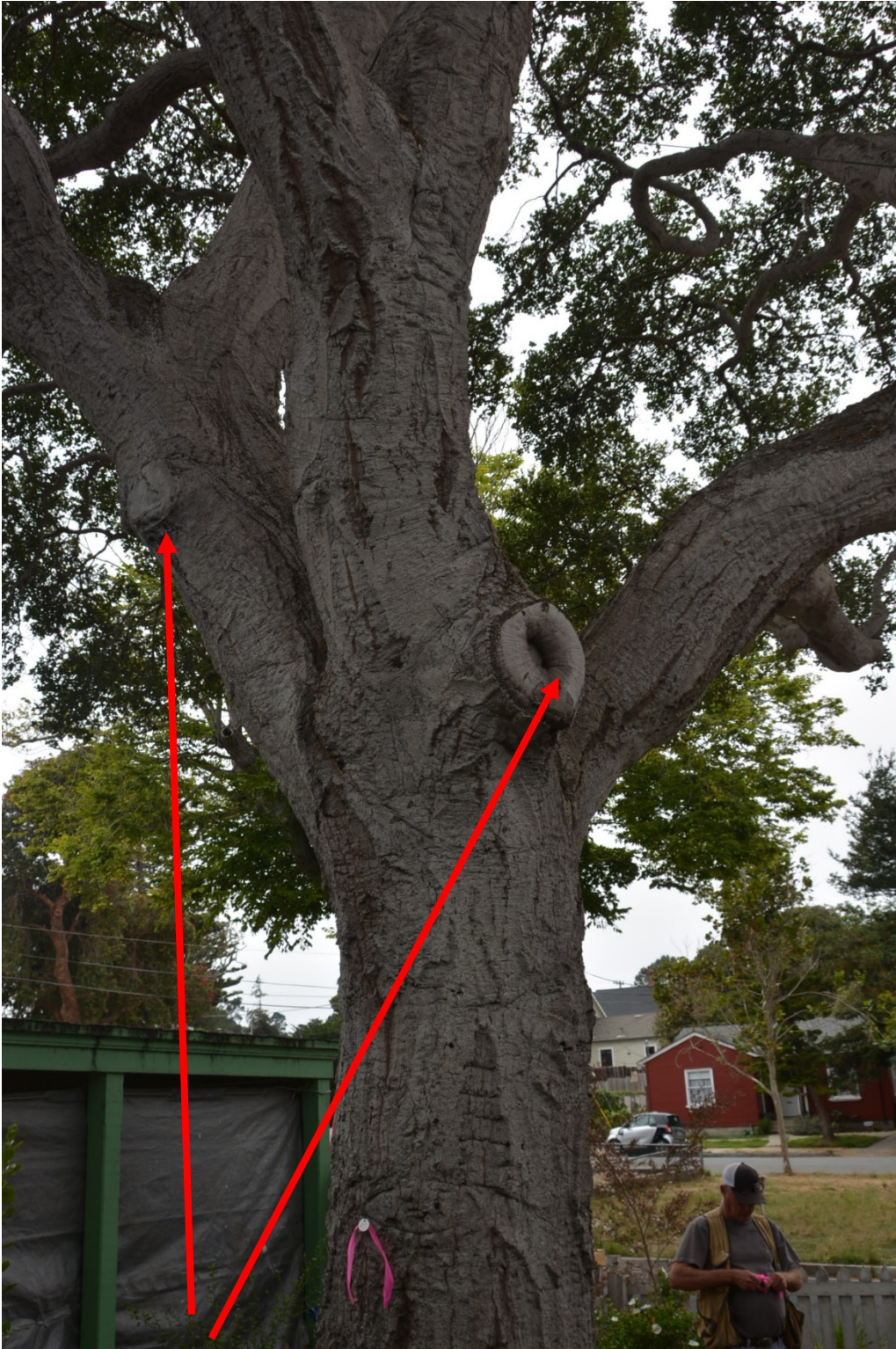
Tree #417





Old face cuts of previous limb removal





Old face cuts where wounds are closing successfully





Limb to be removed

REVISIONS	BY

**Rick Steres Architect**  
831-646-1131  
Phone: 831-646-1131  
230 Fountain Avenue Suite 6, Pacific Grove, CA 93950  
Email: rsteres@comcast.com



**Site Plan**  
ADDITION & REMODEL  
**Moore Residence**  
120 19th STREET PACIFIC GROVE CA 93950

DATE AUGUST 2017
SCALE 1/4"=1'-0"
JOB NUMBER 1609
SHEET <b>C1</b>
OF 24 SHEETS

CALEDONIA STREET

19th STREET

Existing Site Plan

CALEDONIA STREET

19th STREET

Proposed Site Plan

ALL CUT AND FILL SHALL HAVE A MAXIMUM SLOPE OF 2 HORIZ. TO 1 VERT.

ALL FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.

DRAINAGE AWAY FROM BUILDING PAD: PROVIDE 5% SLOPE AWAY FROM BUILDING STRUCTURES FOR A DISTANCE OF 10 FT. MINIMUM.

RELOCATION OR ADJUSTMENT OF DRAIN LINES MAY BE REQUIRED IF CONFLICT OCCURS WITH UTILITY LINES OR TREE ROOTS.

ALL SITE DRAINAGE LINES SHALL BE SMOOTH PVC SDR-35, SLOPE 2% MINIMUM. PERFORATED PIPE SHALL BE INSTALLED WITH PERFORATIONS DOWN.

ALL DOWNSPOUTS THAT DO NOT DISCHARGE DIRECTLY INTO A DRAINLINE OR ONTO PAVEMENT SHALL SPILL ONTO 12"x16" SPLASH BLOCKS.

EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCTOBER 15 AND APRIL 15.

NOTE:

THE PROPERTY LINES AND LOCATION OF EXISTING STRUCTURES WERE DETERMINED BY EDGES OF EXISTING PAVEMENT, EXISTING FENCE LINES, EXISTING BUILDING LINES AND LOCATIONS OF

WERE BASED ON INFORMATION SUPPLIED BY THE OWNER: THE PROPERTY DESCRIPTION CONTAINED IN THE GRANT DEED, THE RECORDED MAP AND ORIGINAL DRAWINGS ON FILE IN THE PEBBLE BEACH COMPANY OFFICES. A LAND SURVEY BY A LICENSED SURVEYOR WAS NOT PROVIDED.





**CITY OF PACIFIC GROVE****Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3190 • F: 831.648.3184 • [www.ci.pg.ca.us/cdd](http://www.ci.pg.ca.us/cdd)**NOTICE OF EXEMPTION FROM CEQA****Property Address/Location: 120 19th, Pacific Grove, CA 93950****Project Description: AP TPD 170597**

Description: to allow a two-story addition of 456.5 gross square feet at the rear of the main residence, connecting the main residence to the detached garage, to create a total of a 1,439 gross square feet two-story residence with an attached garage. To also allow pruning to an Oak tree located at the rear of the property.

APN: 006151009000

ZC: R-3-PGR

Lot Size: 2,613 sf

Applicant Name: Rick Steres Phone #: 831-646-1131  
Mailing Address: 227 Grand Ave. Suite 6. Pacific Grove, CA  
93950  
Email Address: ricksteres@hotmail.com

**Public Agency Approving Project: City of Pacific Grove, Monterey County, California****Exempt Status (Check One):**

- ☐ Ministerial (Sec. 21080(b)(1):15268))  
☐ Declared Emergency (Sec. 21080(b)(3): 15269(a))  
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))  
☒ Categorical Exemption

Type and Section Number: Class 1, Existing Facilities; and Section 15331, Class 31, Historical Resources Restoration/Rehabilitation

- ☐ Statutory Exemption

Type and Section Number:

- ☐ Other:

**Exemption Findings:**

The project seeks to construct a 456.5 gross square feet addition at the rear of the historic residence, creating a total of a 1,439 gross square feet two-story residence. The project qualifies for a Class 1 and Class 3 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities and Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

**Contact: Wendy Lao, Planning Department, City of Pacific Grove****Contact Phone: (831) 648-3183**

**Signature:**

Wendy

**Date:**

9/5/17

**Item 7a**



## Abbreviations

& < Ø	AND ANGLE AT	JAN. J.H.	JANITOR JOIST HANGER
A.B. A.C. AC.	ANCHOR BOLT ASPHALT CONCRETE ACRE	KIT.	KITCHEN
ACOUS A/C ADJ.	ACOUSTICAL AIR CONDITIONING ADJUSTABLE	LAM. LAV. LT.	LAMINATE LAVATORY LIGHT
AGG. ALUM. ALT. ANOD.	AGGREGATE ALUMINUM ALTERNATE ANODIZED	M.B. MAX. MIN.	MACHINE BOLT MAXIMUM MINIMUM
APPROX. APT. ARCH. ASPH. AVE.	APPROXIMATELY APARTMENT ARCHITECT ASPHALT AVENUE	MECH. MTL. MFR. M.H. MISC. MATT. MEMB. MEZZ.	MECHANICAL METAL MANUFACTURER MAN HOLE MISCELLANEOUS MATERIAL MEMBRANE MEZZANINE

BD. BLG. BLK. BLK'G BM. BOT. BTUH	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM BRITISH THERMAL UNITS per HOUR BETWEEN	CAB. C.B. CEM. CER. CFM CL. CLG. CLO. CLR. C.O. COL. COMP. CONC. CONN. CONT. CONTR. CTR. CTS. C.W.	CABINET CATCH BASIN CEMENT CERAMIC CUBIC FEET per MINUTE CENTER LINE CEILING CLOSET CLEAR CLEAN OUT COLUM. COMPOSITION/COMPACT CONCRETE CONNECTION CONTINUOUS CONTRACTOR CENTER COUNTER-SINK COLD WATER
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D D.B. DEG. DET. DEPT. D.F. DIAG. DIA. DML DISP. DN. DR. D.S. DWG. D/W DWR.	DRYER PENNY <NAILS> DOUBLE DEGREE DETAIL DEPARTMENT DOUGLAS FIR DIAGONAL DIAMETER DIM. DISPENSER DOWN DOOR D.S. DRAWING DISHWASHER DRAWER	E E.B. E.F. E.J. ELEV. ELEC. E.N. ENCL. EQ. EQUIP. EXH. EXP. EXT.	EXISTING EACH EXHAUST FAN EXPANSION JOINT ELEVATION ELECTRICAL EDGE NAILING ENCLOSURE EQUAL EQUIPMENT EXHAUST EXPANSION EXTERIOR
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F.D. F.O.C. F.O.M. F.O.S. FRT. FIN. FLR. FLUOR. FNDN. FRM'G. FT. FTG. FURN.	FLOOR DRAIN FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FITURE FINISH FLOOR FLUORESCENT FOUNDATION FRAMING FOOT/FEET FOOTING FURNACE/FURNITURE	G. GALV. G.C.O. G.L. GL. GLB. GRD. GRP. GYP. BD.	GAUGE GALVANIZED GRADE CLEAN OUT GALVANIZED IRON GLASS GLU-LAM BEAM GRADE GROUP GYPSUM BOARD
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H.B. H/C HC HDR. HWD. HWR. H.M. HORZ. HR. HT. HTR. H.V.A.C. H.W.	HOSE BIBB HANDICAPPED HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT HEATER HEATING, VENTILATION & AIR CONDITION HOT WATER	I.D. INCAND. INCL. INSUL. INT.	INSIDE DIAMETER INCANDESCENT INCLUDING INSULATION INTERIOR
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## Symbols

	BLDG. SECTION SECTION NO. SHEET NO.	NEW WALL
	DETAIL DETAIL NO. SHEET NO.	EXISTING WALL TO REMAIN
	GRID LINES	WALL TO BE REMOVED
	FINISH CONTOUR	DOOR NO.
	CONTOUR TO BE CHANGED	WINDOW NUMBER
	PROPERTY LINE	
	SANITARY SEWER	
	STORM DRAIN	
	CLEANOUT	

### HISTORIC STRUCTURE:

THIS STRUCTURE IS INCLUDED IN THE PACIFIC GROVE HISTORIC INVENTORY. REMOVE ONLY THOSE ITEMS AND PORTIONS OF THE STRUCTURE APPROVED FOR DEMOLITION. REFER ALL QUESTIONS TO THE ARCHITECT.

NO MATERIALS SHALL BE REMOVED THAT HAVE NOT BEEN APPROVED BY THE ARCHITECTURAL REVIEW BOARD.

ALL CHANGES TO THESE PLANS SHALL BE REVIEWED WITH PLANNING AND BUILDING STAFF PRIOR TO IMPLEMENTATION IN THE FIELD.

## Hazardous Materials

LEAD-BASED MATERIALS: CONTRACTORS PERFORMING RENOVATION, REPAIR & PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN HOMES BUILT BEFORE 1978 MUST BE CERTIFIED AND MUST FOLLOW SPECIFIC WORK PRACTICES TO PREVENT LEAD CONTAMINATION IN ACCORDANCE WITH THE EPA CODE, FEDERAL REGULATIONS TITLE 40, PART 745 "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES".

### MATERIALS CONTAINING ASBESTOS:

LOCATIONS WHERE ASBESTOS MIGHT BE FOUND INCLUDE:

ATTIC AND WALL INSULATION CONTAINING VERMICULITE  
VINYL FLOORING, INCLUDING BACKING AND ADHESIVES

ROOFING AND SIDING SHINGLES

TEXTURED PAINT AND PATCHING COMPOUNDS

WALLS AND FLOORS NEAR WOOD-BURNING STOVES PROTECTED BY ASBESTOS INFUSED PAPER, BOARD OR CEMENT SHEETS.

INSULATION MATERIAL AROUND WATER HEATERS AND HOT WATER OR STEAM PIPES

HEAT RESISTANT FABRICS

CONTRACTORS PERFORMING DEMOLITION, REPAIR AND RENOVATION THAT DISTURB MATERIALS THAT MAY CONTAIN ASBESTOS CAN CONTACT THE EPA, DEPT. OF TOXIC SUBSTANCES CONTROL, BERKELEY, CA. 510-540-2122.

WHERE THE PRESENCE OF HAZARDOUS MATERIALS IS SUSPECTED, EMPLOY A PROFESSIONAL TESTING AGENCY SUCH AS STECH CONSULTING, SEAN TILLEMENT, 484-B WASHINGTON STREET, MONTEREY, CA. 93940, EMAIL: seon@stechconsulting.com PHONE: 831-883-8415

## Tree Protection

TREES LOCATED CLOSE TO CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM DAMAGE BY FENCING THE CANOPY DRIPLINES AND/OR CRITICAL ROOT ZONES (WHICHEVER IS GREATER) BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

SAID PROTECTION, APPROVED BY CERTIFIED ARBORIST, SHALL BE DEMONSTRATED PRIOR TO ISSUANCE OF BUILDING PERMITS SUBJECT TO THE APPROVAL OF RMA - DIRECTOR OF PLANNING. IF THERE IS ANY POTENTIAL FOR DAMAGE, ALL WORK MUST STOP IN THE AREA AND A REPORT WITH MITIGATION MEASURES SHALL BE SUBMITTED BY A CERTIFIED ARBORIST. SHOULD ANY TREES NOT INCLUDED IN THE PERMIT BE HARMED TO AN EXTENT THAT REQUIRES THEIR REMOVAL, THE OWNER/APPLICANT SHALL OBTAIN THE APPROPRIATE PERMITS.

PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMITS, THE OWNER/APPLICANT SHALL SUBMIT EVIDENCE OF TREE PROTECTION TO RMA - PLANNING FOR REVIEW AND APPROVAL.

DURING CONSTRUCTION, THE OWNER/APPLICANT/ARBORIST SHALL SUBMIT ONGOING EVIDENCE THAT TREE PROTECTION MEASURES ARE IN PLACE THROUGHOUT GRADING AND CONSTRUCTION PHASES. IF DAMAGE IS POSSIBLE, SUBMIT AN INTERIM REPORT PREPARED BY A CERTIFIED ARBORIST.

PRIOR TO FINAL INSPECTION, THE OWNER/ARBORIST SHALL SUBMIT PHOTOS OF THE TREES ON THE PROPERTY TO RMA-PLANNING AFTER CONSTRUCTION TO DOCUMENT THAT TREE PROTECTION HAS BEEN SUCCESSFUL, OR IF FOLLOW-UP REMEDIATION OR ADDITIONAL PERMITS ARE REQUIRED.

## Pollution Control

- PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH V.O.C. LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR R.O.C. AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLAINT V.O.C. LIMIT FINISH MATERIALS HAVE BEEN USED.
- CARPET AND CARET SYSTEMS SHALL BE COMPLIANT WITH V.O.C. LIMITS.
- 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE V.O.C. EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
- PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDBOARD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

## Directory

OWNERS:  
TOM & CHRIS MOORE  
340 TWIN PINES DRIVE  
SCOTTS VALLEY CA 95066  
(408) 410-2003

ARCHITECT:  
RICK STERES  
227 GRAND AVE. SUITE 6  
PACIFIC GROVE CA 93950  
(831) 646-1131

ENERGY CONSULTANT:  
DAVID KNIGHT  
MONTEREY ENERGY GROUP  
26465 Carmel Rancho Blvd. #8  
Carmel, CA 93923  
(831) 372-8328

SPECIAL INSPECTION:  
MOORE TWINING ASSOC.  
501 ORTIZ AVE.  
SAND CITY, CA. 93955  
(831) 392-1056

HISTORICAL CONSULTANT:  
PAST CONSULTANTS INC.  
SETH BERGSTEIN  
P.O. BOX 721  
PACIFIC GROVE, CA 93950  
(415) 515-6224

URBAN FORESTER:  
FRANK ONO  
1213 MILES AVENUE  
PACIFIC GROVE, CA 93950  
(831) 373-7086

## General Notes

PROJECT SHALL COMPLY WITH THE FOLLOWING REFERENCE CODES:

2016 CALIFORNIA HISTORICAL BUILDING CODE  
2016 CALIFORNIA RESIDENTIAL CODE  
2012 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA FIRE CODE

WATER AND GAS LINE SIZING DIAGRAMS SHALL BE SUBMITTED TO THE BLDG. DEPT. PRIOR TO ROUGH PLUMBING INSPECTION.

THE SIZE OF EACH SECTION AND EACH OUTLET OF ANY SYSTEM OF GAS PIPING SHALL BE IN ACCORDANCE WITH CPC APPENDIX B CHAPTER 13.

THE SIZE OF EACH WATER METER, POTABLE WATER SUPPLY PIPE, OR OTHER SOURCE OF SUPPLY BRANCHES, RISERS, FIXTURES, CONNECTIONS, OUTLETS OR OTHER USES SHALL BE BASED ON THE TOTAL DEMAND AND SHALL BE IN ACCORDANCE WITH CPC SECT. 610.8.

ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

### VISUAL INSPECTION OF SOIL CONDITIONS

EXISTING FOUNDATION SYSTEM: THIS IS A 1-STORY HOUSE WITH RAISED CONC. FOUNDATION, BUILT ca1948, INSPECTED BY ARCHITECT AND FOUND TO BE IN GOOD CONDITION WITH MINIMAL SETTLEMENT.

PROPOSED FOUNDATION: SLAB-ON-GRADE AND RAISED CONC. FOUNDATION USING MINIMUM SOIL BEARING PRESSURE FOR TYPE OF SOIL PER CBC TABLE 1804.2

ARCHITECT SHALL INSPECT FOUNDATION EXCAVATION AND SHALL SUBMIT A LETTER TO THE BUILDING DEPARTMENT CERTIFYING THAT FOOTINGS WILL BEAR ON UNDISTURBED ORIGINAL SOIL.

### SPECIAL INSPECTION

SPECIAL INSPECTION PER CBC 1704 IS REQUIRED FOR:

ANCHORS INSTALLED IN HARDENED CONCRETE CBC TABLE 1704.4 (4).

THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE BUILDING DEPT. PRIOR TO PERFORMING ANY DUTIES. A PRECONSTRUCTION CONFERENCE WITH THE PARTIES INVOLVED MAY BE REQUIRED TO REVIEW THE SPECIAL INSPECTION REQUIREMENTS AND PROCEDURES.

## Fire Department Notes

EVERY NEW SINGLE AND TWO FAMILY DWELLING SHALL HAVE AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED (NFPA 13-D) STARTING JANUARY 1, 2011.

EXISTING GROUP R, DIV. 3, 1-STORY BUILDINGS TO WHICH ADDITIONS, ALTERATIONS, OR REPAIRS ARE MADE THAT INVOLVE THE REMOVAL OR REPLACEMENT OF 50% OF LINEAR FOOTAGE OF WALLS OR MORE (EXTERIOR + INTERIOR) WITHIN A 1 YEAR PERIOD SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED PER NFPA 13-D.

EXCEPTION: R-1 DIV. 3, 1-STORY HOMES OF LESS THAN 1,500 SQ.FT. (EXISTING + ADDITIONS) SHALL NOT BE REQUIRED TO PROVIDE A FIRE SPRINKLER SYSTEM.

CURRENT EXISTING LINEAR LENGTH OF WALLS (EXTERIOR PLUS INTERIOR):

LINEAR LENGTH OF WALLS IN WHICH ALTERATIONS OR REPAIRS ARE MADE THAT INVOLVE REMOVAL OR REPLACEMENT (INTERIOR PLUS EXTERIOR):

ALL LINEAR LENGTH OF NEW CONSTRUCTION (EXTERIOR PLUS INTERIOR):

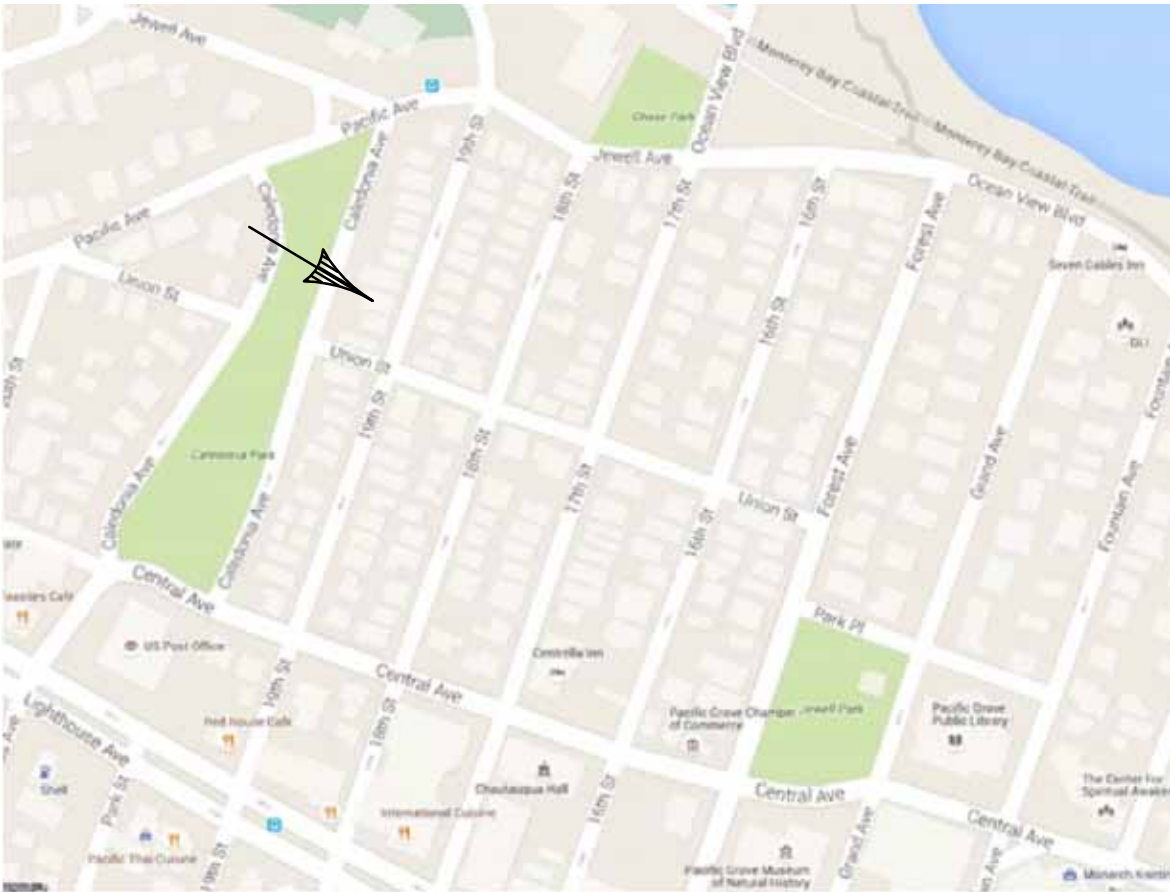
A FIRE SPRINKLING SYSTEM IS REQUIRED.

THE BUILDING AND GARAGE SHALL BE FULLY PROTECTED WITH A FIRE SPRINKLER SYSTEM. INSTALLATION, APPROVAL AND MAINTENANCE SHALL BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD NFPA 13-D AND THE CALIF. FIRE CODE, THE EDITIONS OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ROUGH-IN INSPECTIONS MUST BE COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

FIRE ALARM FLOW SWITCH SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT. ANY DEVIATIONS REQUIRE APPROVAL FROM THE FIRE DEPT.

BEFORE CONSTRUCTION BEGINS, TEMPORARY OR PERMANENT ADDRESS NUMBERS SHALL BE POSTED. PERMANENT ADDRESS NUMBER SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE. ALL ADDRESS NUMBERS SHALL BE POSTED ON THE PROPERTY SO AS TO BE CLEARLY VISIBLE FROM THE ROAD. ADDRESS NUMBERS SHALL BE MINIMUM 3" HIGH WITH A 3/8" STROKE MOUNTED WITH CONTRASTING BACKGROUND.

ROOF CONSTRUCTION SHALL BE CLASS "A" OR "B" AS DEFINED BY CBC STANDARD 15-2. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN 50 % OR MORE OF THE EXISTING ROOF IS REPLACED WITHIN A ONE-YEAR PERIOD.



## Vicinity Map

## Project Data:

### SCOPE OF WORK:

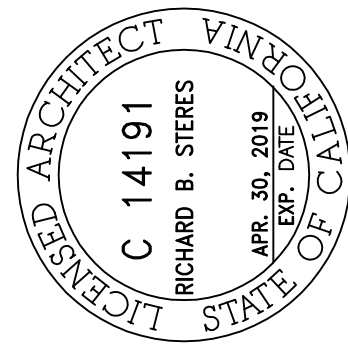
CONNECT THE HOUSE TO THE GARAGE AND ADD A SECOND FLOOR MASTER BEDROOM AND MASTER BATHROOM. REMODEL THE KITCHEN. THE GARAGE FOUNDATION WILL BE REPLACED IN ORDER TO SUPPORT THE NEW 2nd FLOOR CONSTRUCTION BUT THE GARAGE WALLS WILL BE PRESERVED (EXCEPT FOR 6'-9" FOR A WINDOW).

A.P.N.	006-151-009
RECORDED MAP REFERENCE	N.E. 28' OF LOT 9, BLK. 56, RETREAT
ZONE	R-3-PGR
LOT SIZE	2,613 SQ.FT.
OCCUPANCY TYPE	R-3 / U
CONSTRUCTION TYPE	VB

## Sheet Index

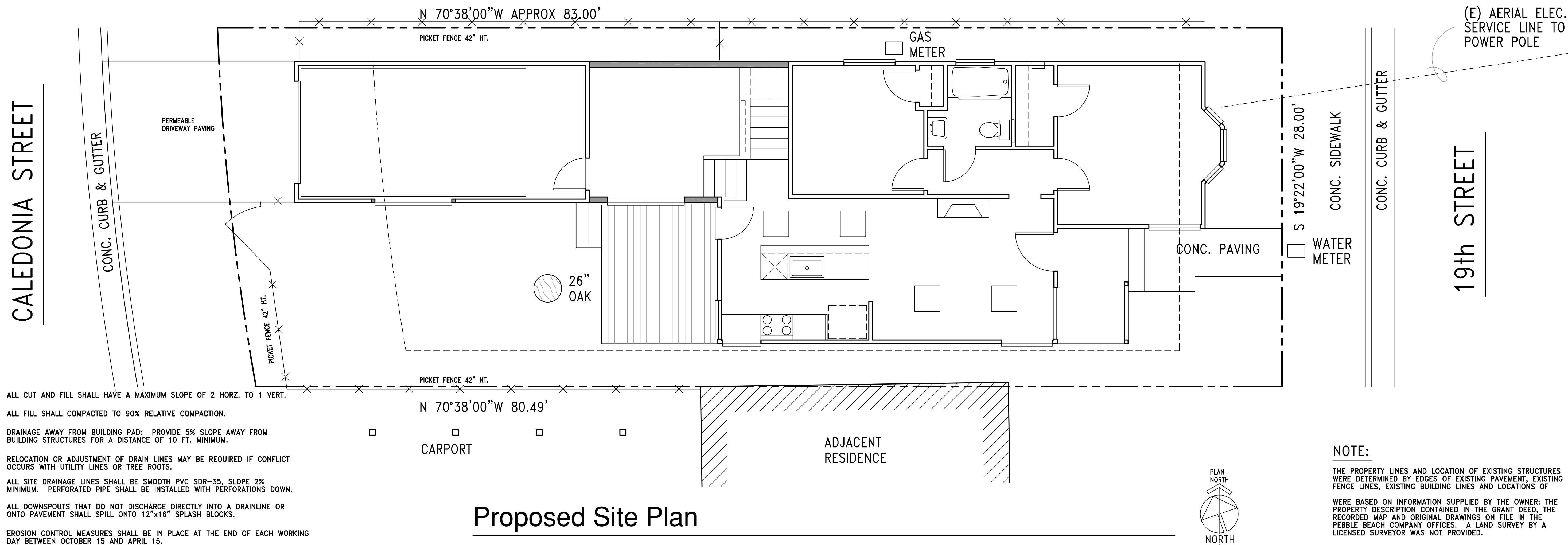
SHEET NO.	DESCRIPTION
C0	ARCHITECTURAL
C1	COVER SHEET
C2	SITE, GRADING & DRAINAGE PLAN
C3	EROSION CONTROL PLAN
C4	SOILS SPECIFICATIONS
	BEST SITE MANAGEMENT PRACTICES
A1	1st FLOOR PLAN INC. DEMOLITION PLAN
A2	2nd FLOOR PLAN
A3	EXTERIOR ELEVATIONS, NORTH & EAST
A4	EXTERIOR ELEVATIONS, SOUTH & WEST
A5	BUILDING SECTIONS
A6	ROOF PLANS, DOOR & WINDOWS SCHEDULES
A7	ARCHITECTURAL DETAILS
	STRUCTURAL
S1	STRUCTURAL SPECIFICATIONS
S2	STANDARD STRUCTURAL DETAILS
S2.1	STANDARD STRUCTURAL DETAILS
S3	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S4	SECOND FLOOR FRAMING PLAN
S5	ROOF FRAMING PLAN
S7	STRUCTURAL DETAILS
S8	STRUCTURAL DETAILS
	ELECTRICAL
E1	FIRST FLOOR ELECTRICAL PLAN
E2	SECOND FLOOR ELECTRICAL PLAN
	SPECIFICATIONS
SP1	SPECIFICATIONS
SP2	SPECIFICATIONS
T1	TITLE 24 ENERGY CONSERVATION DOCUMENTATION
T2	TITLE 24 ENERGY CONSERVATION DOCUMENTATION

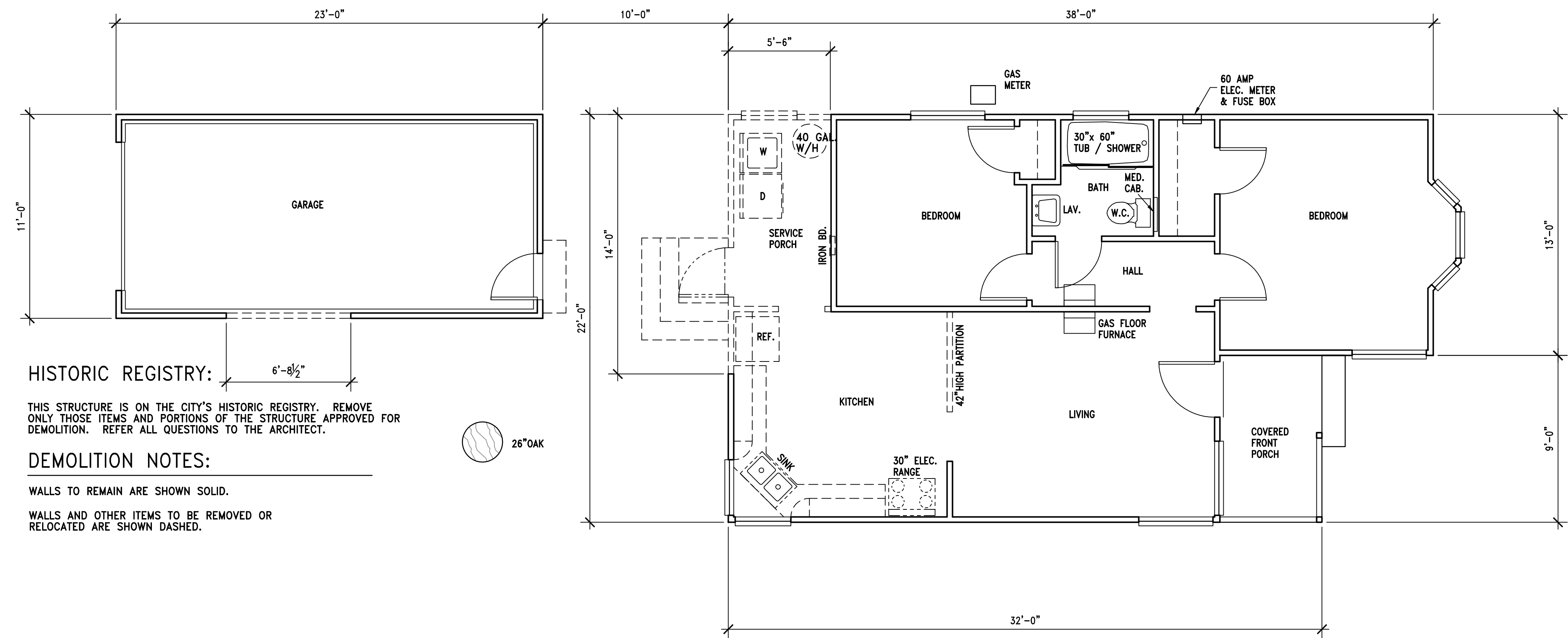
**Rick Steres**  
Architect



ADDITION & REMODEL  
**Moore Residence**  
120 19th STREET  
PACIFIC GROVE CA 93950







HISTORIC REGISTRY:

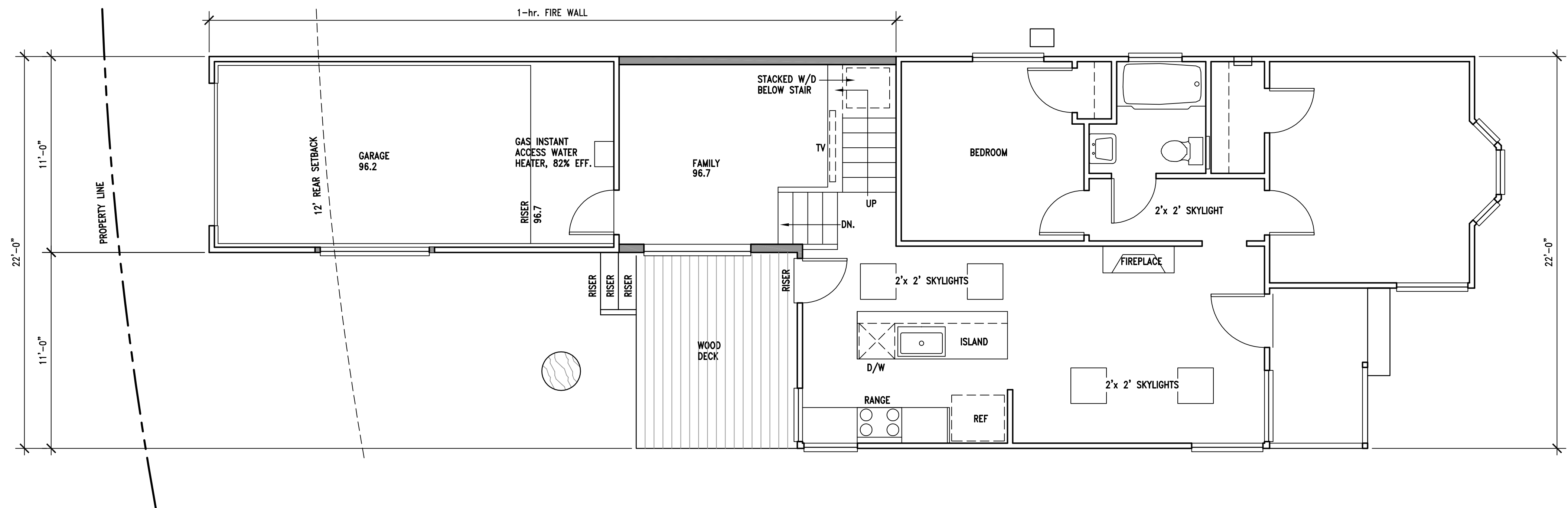
THIS STRUCTURE IS ON THE CITY'S HISTORIC REGISTRY. REMOVE ONLY THOSE ITEMS AND PORTIONS OF THE STRUCTURE APPROVED FOR DEMOLITION. REFER ALL QUESTIONS TO THE ARCHITECT.

DEMOLITION NOTES:

WALLS TO REMAIN ARE SHOWN SOLID.

WALLS AND OTHER ITEMS TO BE REMOVED OR RELOCATED ARE SHOWN DASHED.

Existing Floor / Demolition Plan



Proposed Floor Plan

NOTES:

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT. MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH. MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

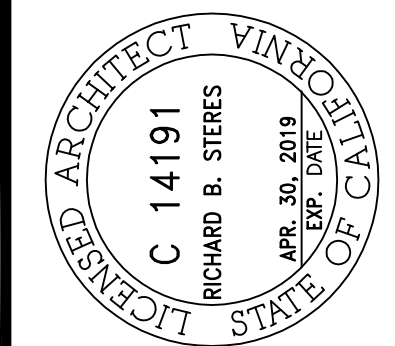
ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.

REVISIONS	BY

**Rick Steres Architect**

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Phone: 851-646-1131  
Fax: 851-646-1131  
Email: ricksteres@hotmail.com

1201 Fountain Avenue Suite 6, Pacific Grove, CA 93950



**Floor Plan**

ADDITION & REMODEL

**Moore Residence**

120 19th STREET PACIFIC GROVE CA 93950

DATE	JUNE 2017
SCALE	1/4"=1'-0"
JOB NUMBER	1609
SHEET	A1
OF 24 SHEETS	

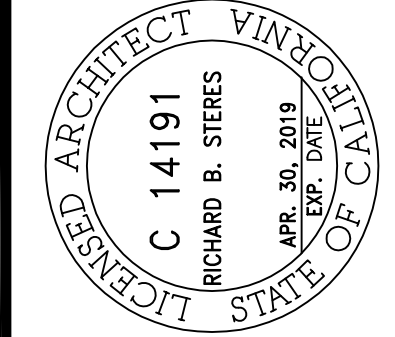


REVISIONS	BY



**Rick Steres Architect**

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12019 Pacific Coast Highway  
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Email: ricksteresarchitect.com  
Web Site: ricksteresarchitect.com



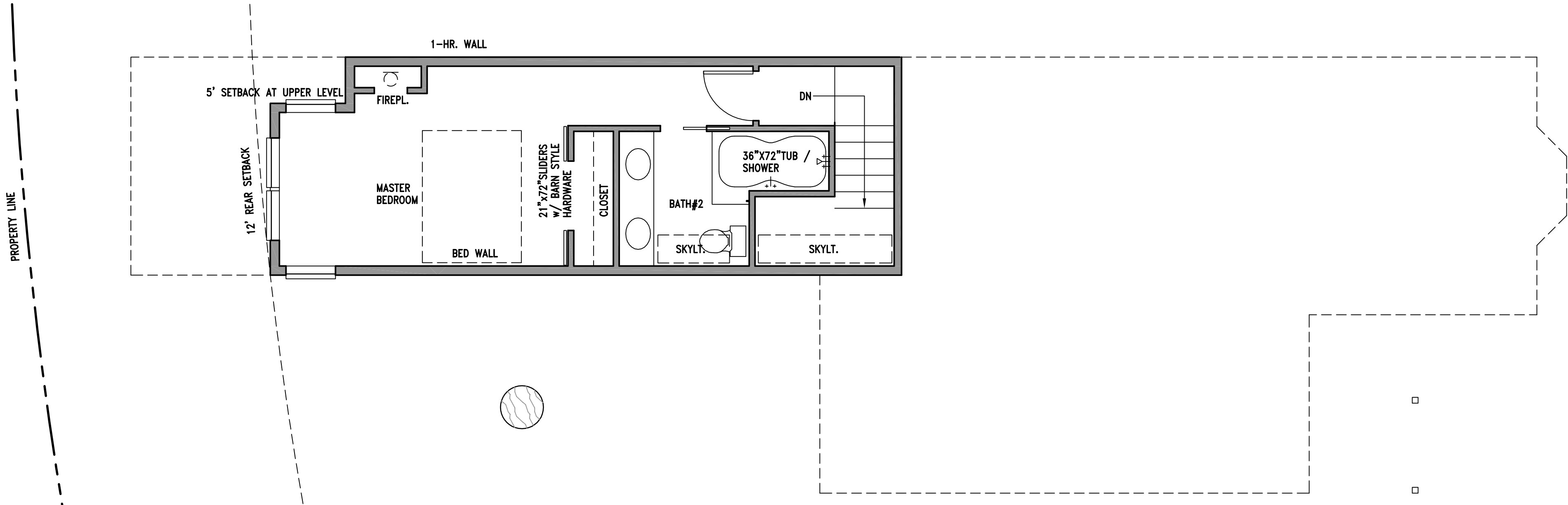
Second Floor Plan

ADDITION & REMODEL

Moore Residence

120 19th STREET PACIFIC GROVE CA 93950

Second Floor Plan



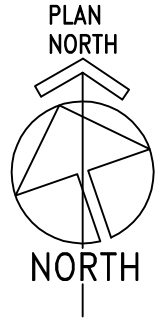
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TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

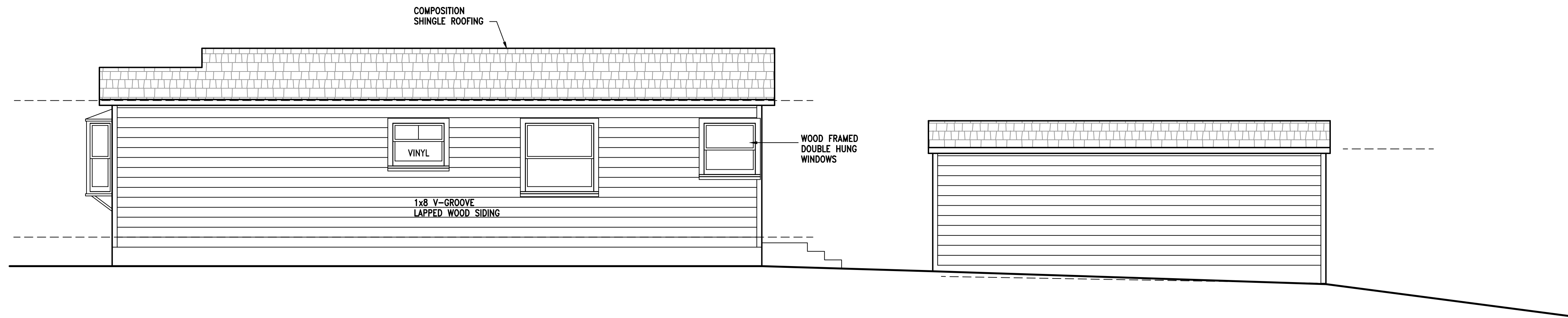
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MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT.  
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MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT.  
MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

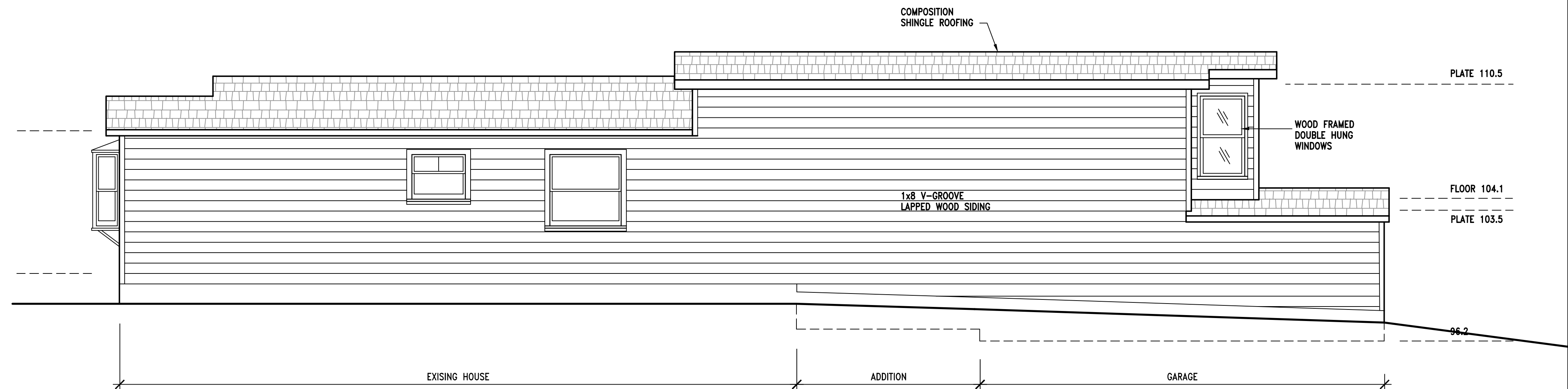
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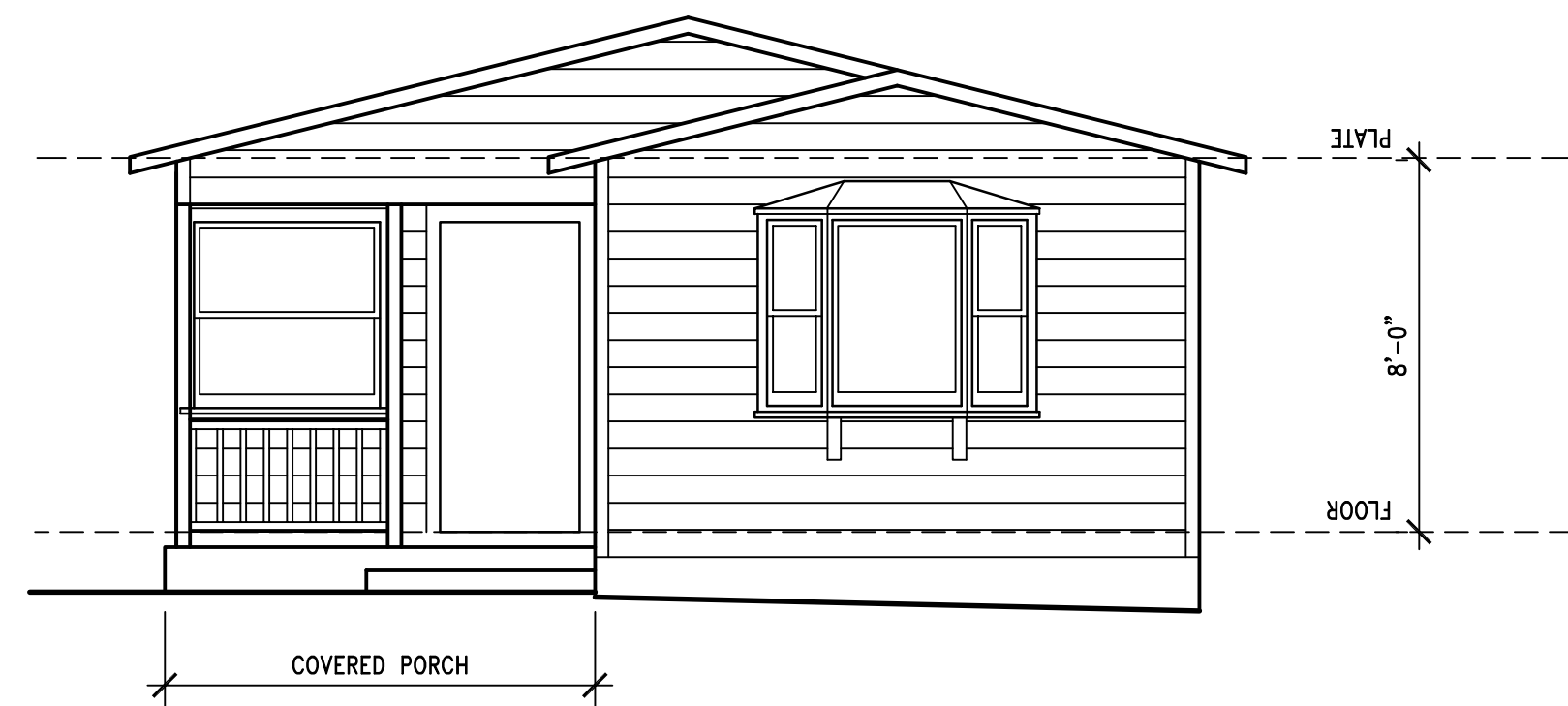
DATE
AUGUST 2017
SCALE
1/4"=1'-0"
JOB NUMBER
1609
SHEET
A2
OF 24 SHEETS



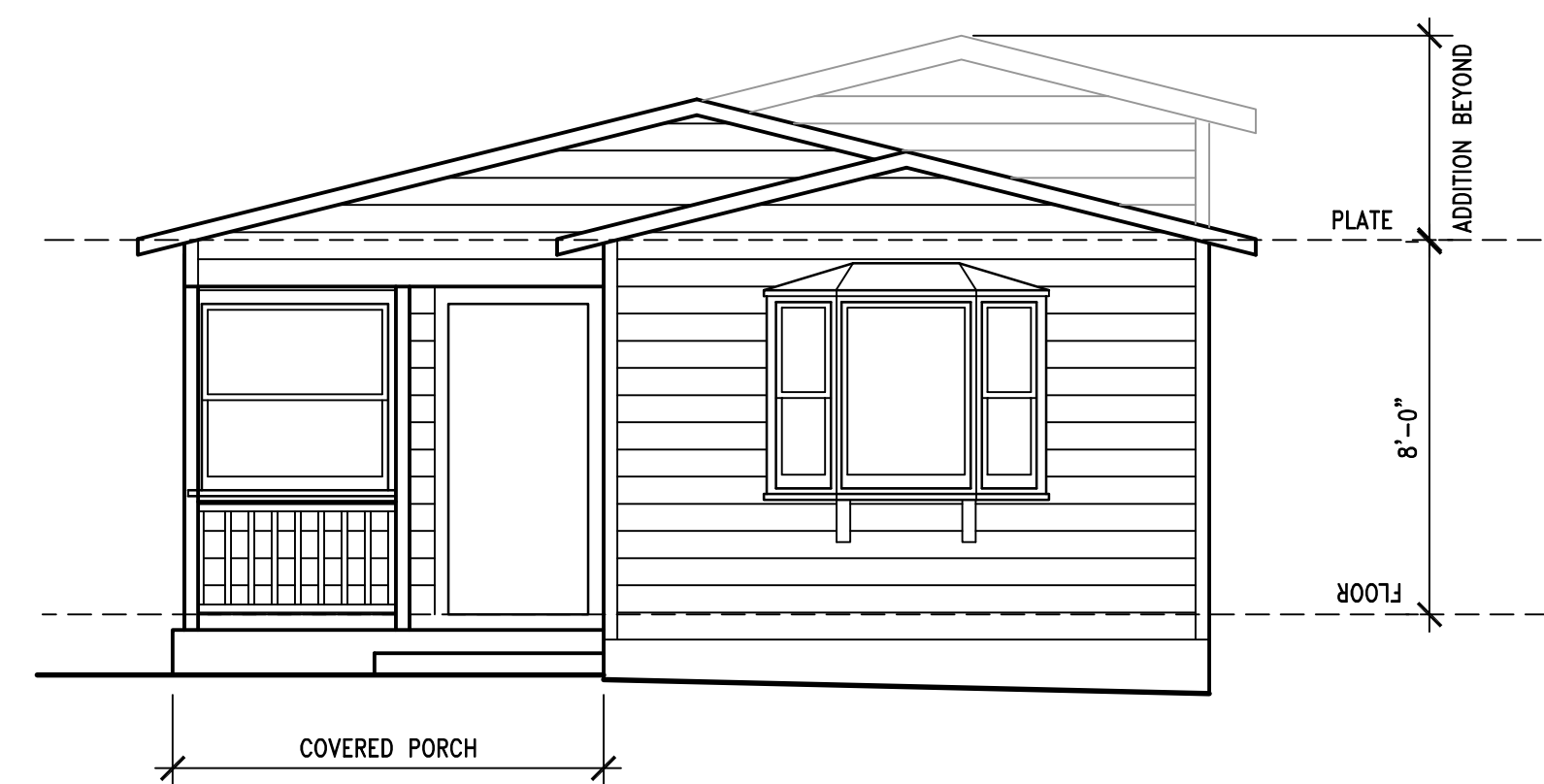
Existing North (right side)



Proposed North (right side)



Existing East (front)



Proposed East (front)

REVISIONS	BY

**Rick Steres Architect**  
Phone & Fax: 851-846-1131  
12019 Pacific Coast Highway, Suite 6, Pacific Grove, CA 93950  
Email: ricksteres@tmll.com  
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North & East Elevations  
ADDITION & REMODEL  
**Moore Residence**  
120 19th STREET PACIFIC GROVE CA 93950

